



The Copyright of this drawing belongs to T C Matthew Chartered Architect and shall not be used or reproduced in any form without its express permission. The moral right of the author is hereby asserted.

Notes

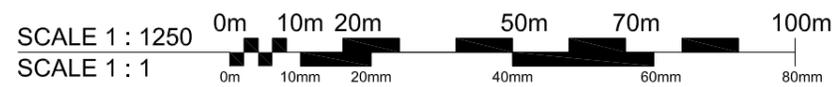
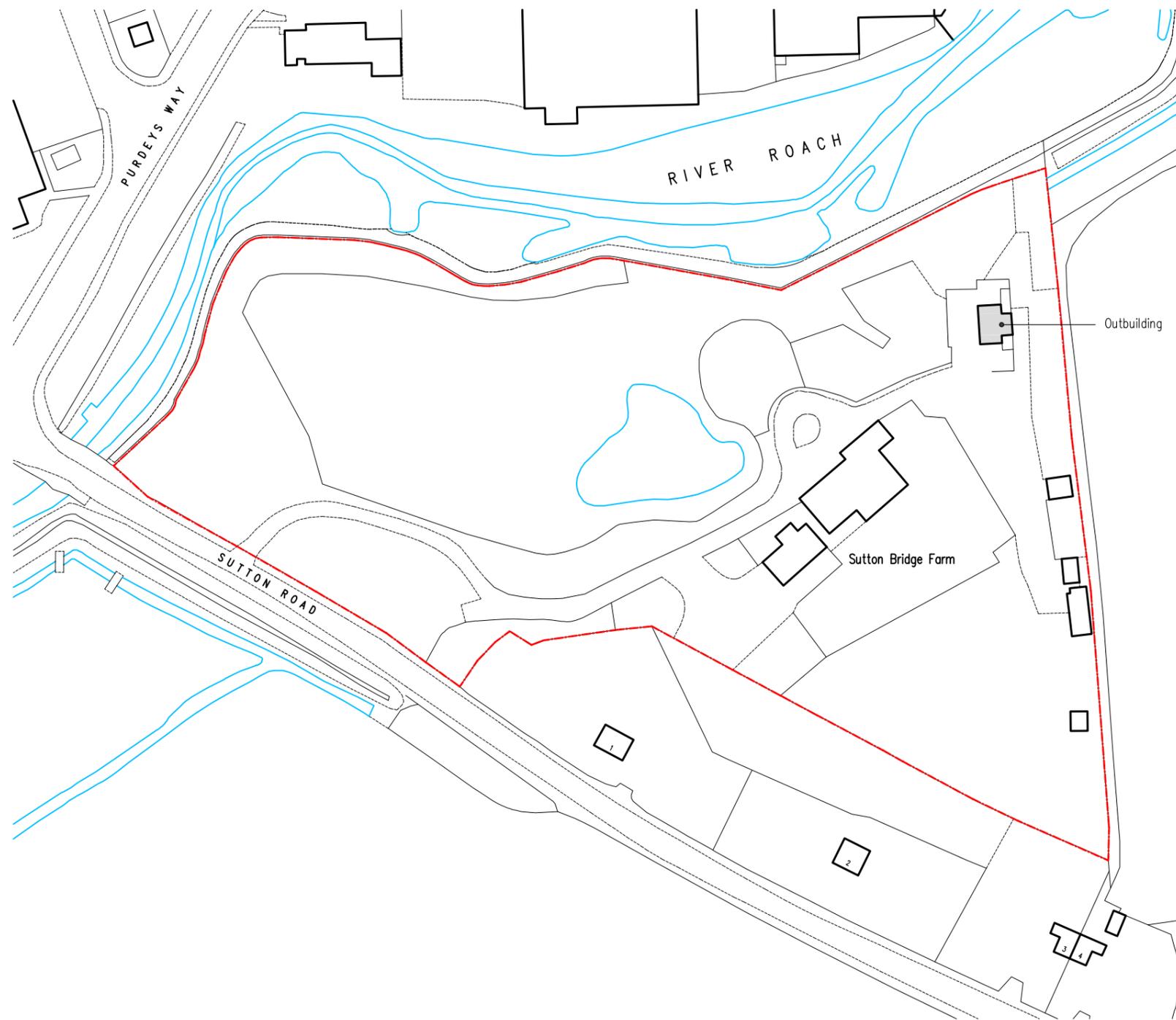
Client
Hamelin Trust

Project
Former Farm Outbuilding
Extension & Alteration

Services:	Town Planning Appl'n & Building Regs Compliance
Contract:	—
Value:	—

T C Matthew
Chartered Architect
92 London Road
Southend-on-Sea
Essex. SS1 1PG
www.tcmca.co.uk
Tel: 07505 983394

**T C Matthew
Chartered
Architect**



The Copyright of this drawing belongs to T C Matthew Chartered Architect and shall not be used or reproduced in any form without its express permission. The moral right of the author is hereby asserted.

Do not scale from this drawing – Work to figured dimensions only. All dimensions to be checked on site prior to the execution of any work.

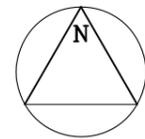
For the avoidance of doubt all dimensions are measured to wall structure and not the finishes unless otherwise stated.

Where any discrepancy is found to exist within or between drawings and/or documents it should be reported to the architect immediately.

T C Matthew Chartered Architect shall not be liable for any use of drawings and documents for any purpose other than for which the same were prepared by or on behalf of T C Matthew Chartered Architect.

Please send corrections and error reports to: enquiries@tcmca.co.uk

Notes



Revision	Author & Description	Date
...	...	dd.mm.yyyy

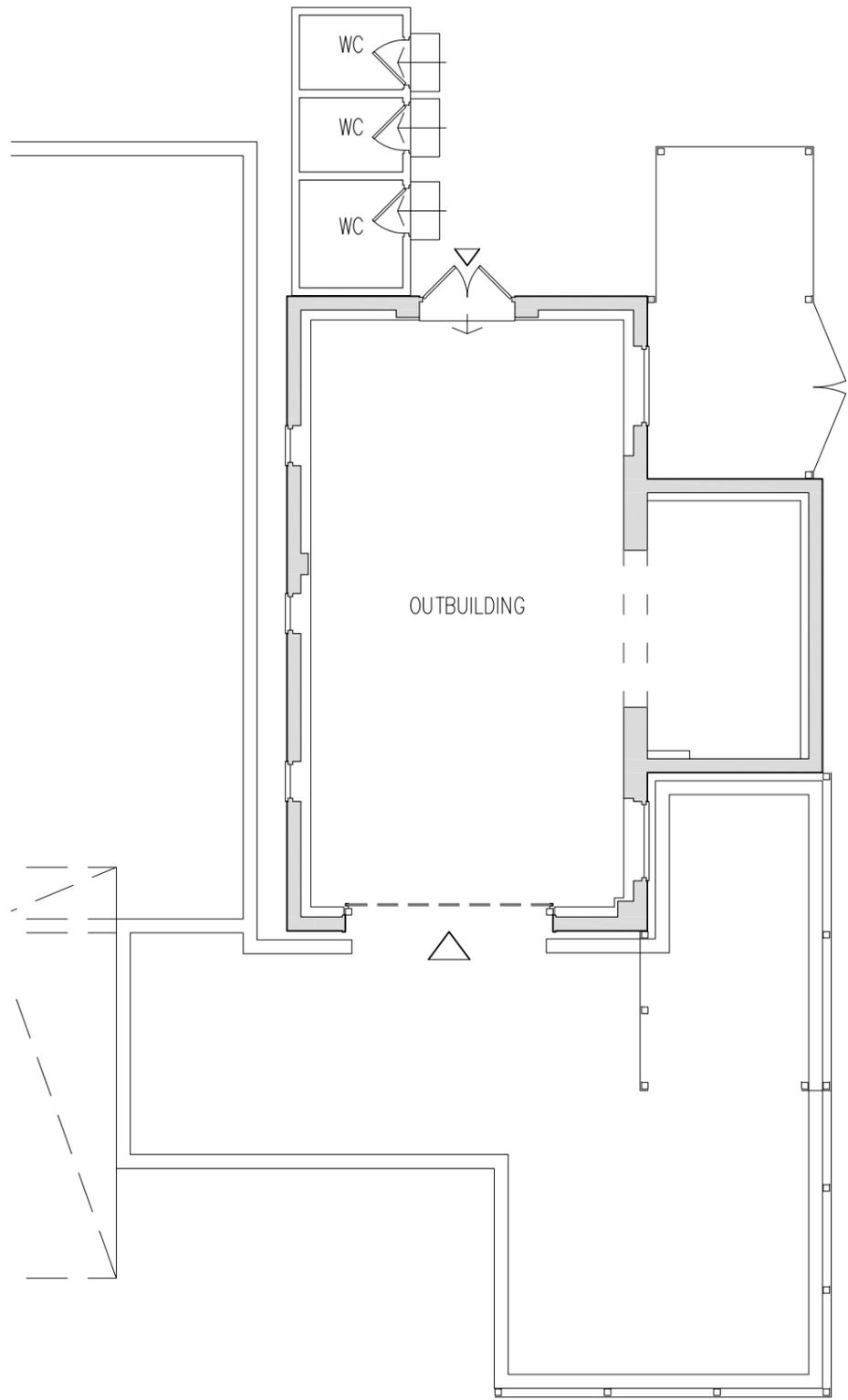
Client
HAMELIN TRUST
 19 Radford Crescent
 Billericay
 Essex CM12 0DU

Project
 Alteration & Extension
 Sutton Bridge Farm
 Sutton Road
 Rochford
 Essex SS4 1XS

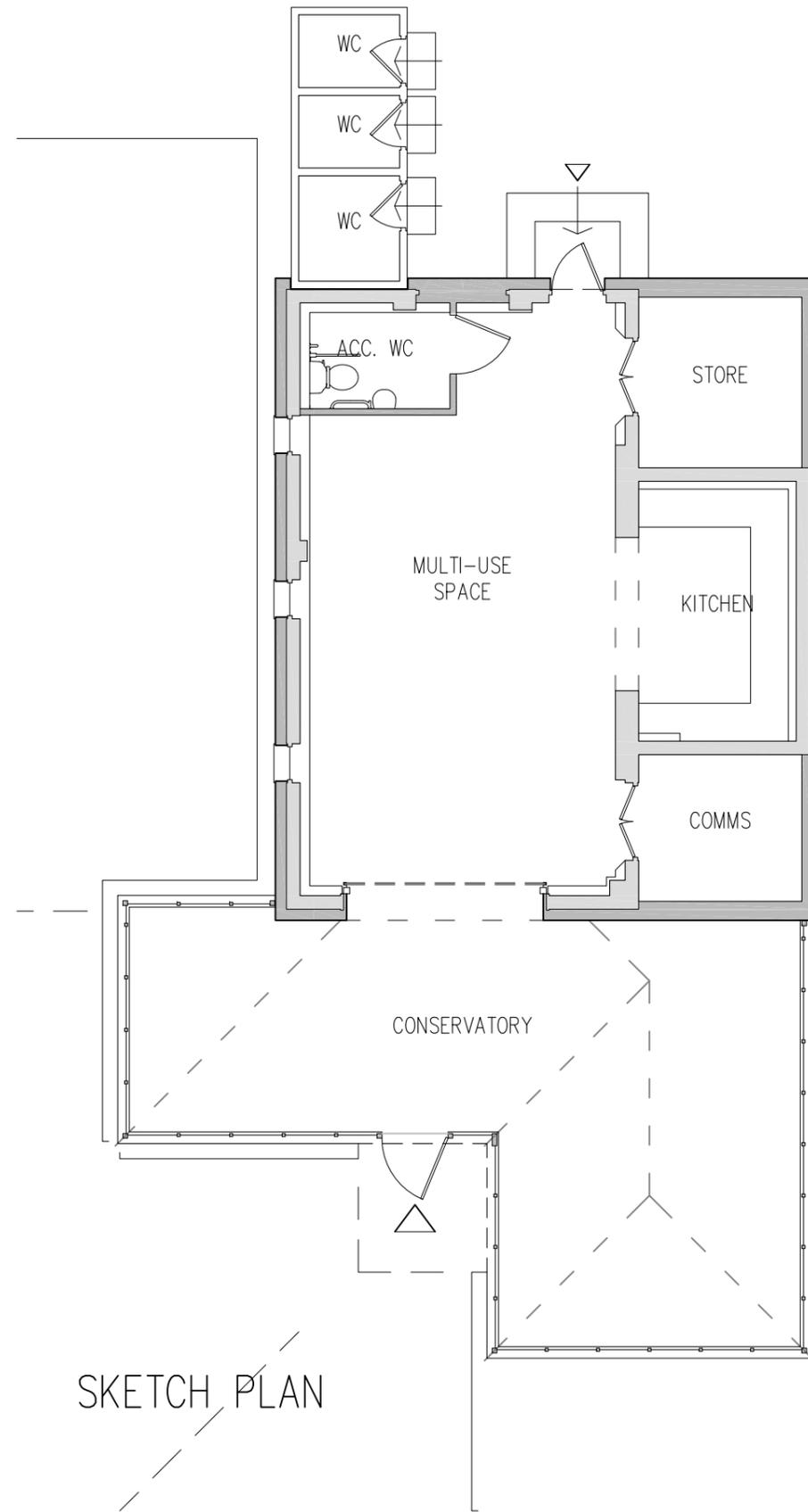
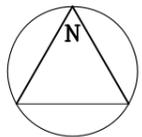
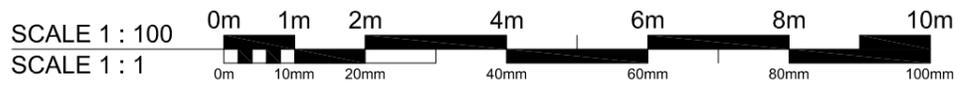
Title
 Location Plan

Drawing:	16060-LOC-010		
Date:	04/07/2016	By:	TCM
Scale:	1:1250 @ A3	Check:	TCM

T C Matthew Chartered Architect 92 London Road Southend-on-Sea Essex. SS1 1PG www.tcmca.co.uk Tel: 07505 983394	T C Matthew Chartered Architect
---	--



EXISTING PLAN



SKETCH PLAN

The Copyright of this drawing belongs to T C Matthew Chartered Architect and shall not be used or reproduced in any form without its express permission. The moral right of the author is hereby asserted.

Do not scale from this drawing – Work to figured dimensions only. All dimensions to be checked on site prior to the execution of any work.

For the avoidance of doubt all dimensions are measured to wall structure and not the finishes unless otherwise stated.

Where any discrepancy is found to exist within or between drawings and/or documents it should be reported to the architect immediately.

T C Matthew Chartered Architect shall not be liable for any use of drawings and documents for any purpose other than for which the same were prepared by or on behalf of T C Matthew Chartered Architect.

Please send corrections and error reports to: enquiries@tcmca.co.uk

Notes

...

Revision	Author & Description	Date
...	...	dd.mm.yyyy

Client
HAMELIN TRUST
 19 Radford Crescent
 Billericay
 Essex CM12 0DU

Project
 Alteration & Extension
 Sutton Bridge Farm
 Sutton Road, Rochford
 Essex SS4 1XS

Title
 Plans

Drawing:	16060-K-010		
Date:	24/06/2016	By:	TCM
Scale:	1:100 @ A3	Check:	TCM

T C Matthew
 Chartered Architect
 92 London Road
 Southend-on-Sea
 Essex. SS1 1PG
 www.tcmca.co.uk
 Tel: 07505 983394

**T C Matthew
 Chartered
 Architect**

The Copyright of this drawing belongs to T C Matthew Chartered Architect and shall not be used or reproduced in any form without its express permission. The moral right of the author is hereby asserted.

Do not scale from this drawing – Work to figured dimensions only. All dimensions to be checked on site prior to the execution of any work.

For the avoidance of doubt all dimensions are measured to wall structure and not the finishes unless otherwise stated.

Where any discrepancy is found to exist within or between drawings and/or documents it should be reported to the architect immediately.

T C Matthew Chartered Architect shall not be liable for any use of drawings and documents for any purpose other than for which the same were prepared by or on behalf of T C Matthew Chartered Architect.

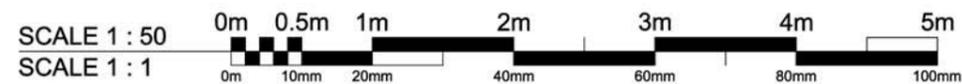
Please send corrections and error reports to: enquiries@tcmca.co.uk

Notes

...



SOUTH ELEVATION



...	...	dd.mm.yyyy
Revision	Author & Description	Date

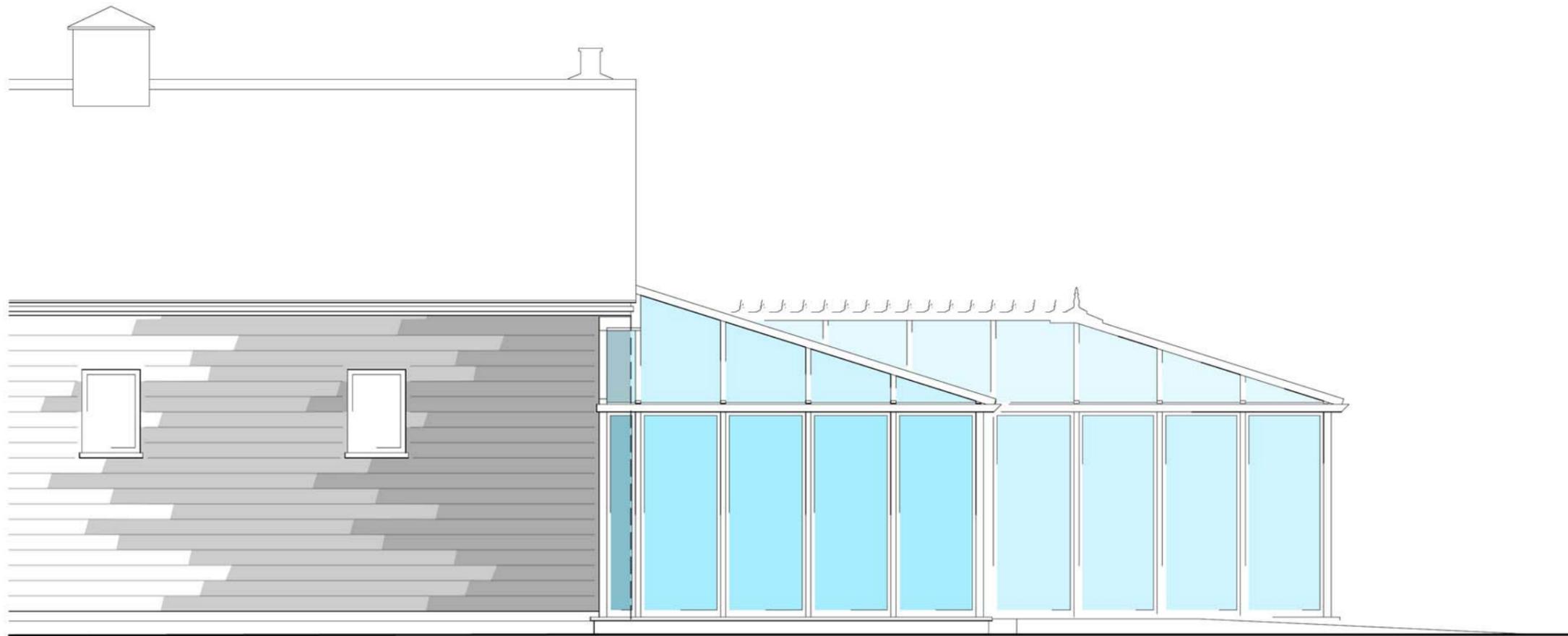
Client
 HAMELIN TRUST
 19 Radford Crescent
 Billericay
 Essex CM12 0DU

Project
 Alteration & Extension
 Sutton Bridge Farm
 Sutton Road, Rochford
 Essex SS4 1XS

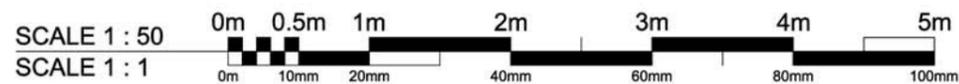
Title
 Sketch South Elevation

Drawing:	16060-K-020		
Date:	24/06/2016	By:	TCM
Scale:	1:50 @ A3	Check:	TCM

T C Matthew Chartered Architect 92 London Road Southend-on-Sea Essex. SS1 1PG www.tcmca.co.uk Tel: 07505 983394	T C Matthew Chartered Architect
---	--



WEST ELEVATION



The Copyright of this drawing belongs to T C Matthew Chartered Architect and shall not be used or reproduced in any form without its express permission. The moral right of the author is hereby asserted.

Do not scale from this drawing – Work to figured dimensions only. All dimensions to be checked on site prior to the execution of any work.

For the avoidance of doubt all dimensions are measured to wall structure and not the finishes unless otherwise stated.

Where any discrepancy is found to exist within or between drawings and/or documents it should be reported to the architect immediately.

T C Matthew Chartered Architect shall not be liable for any use of drawings and documents for any purpose other than for which the same were prepared by or on behalf of T C Matthew Chartered Architect.

Please send corrections and error reports to: enquiries@tcmca.co.uk

Notes

...

Revision	Author & Description	Date
...	...	dd.mm.yyyy

Client
 HAMELIN TRUST
 19 Radford Crescent
 Billericay
 Essex CM12 0DU

Project
 Alteration & Extension
 Sutton Bridge Farm
 Sutton Road, Rochford
 Essex SS4 1XS

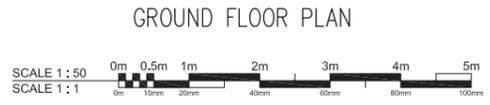
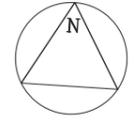
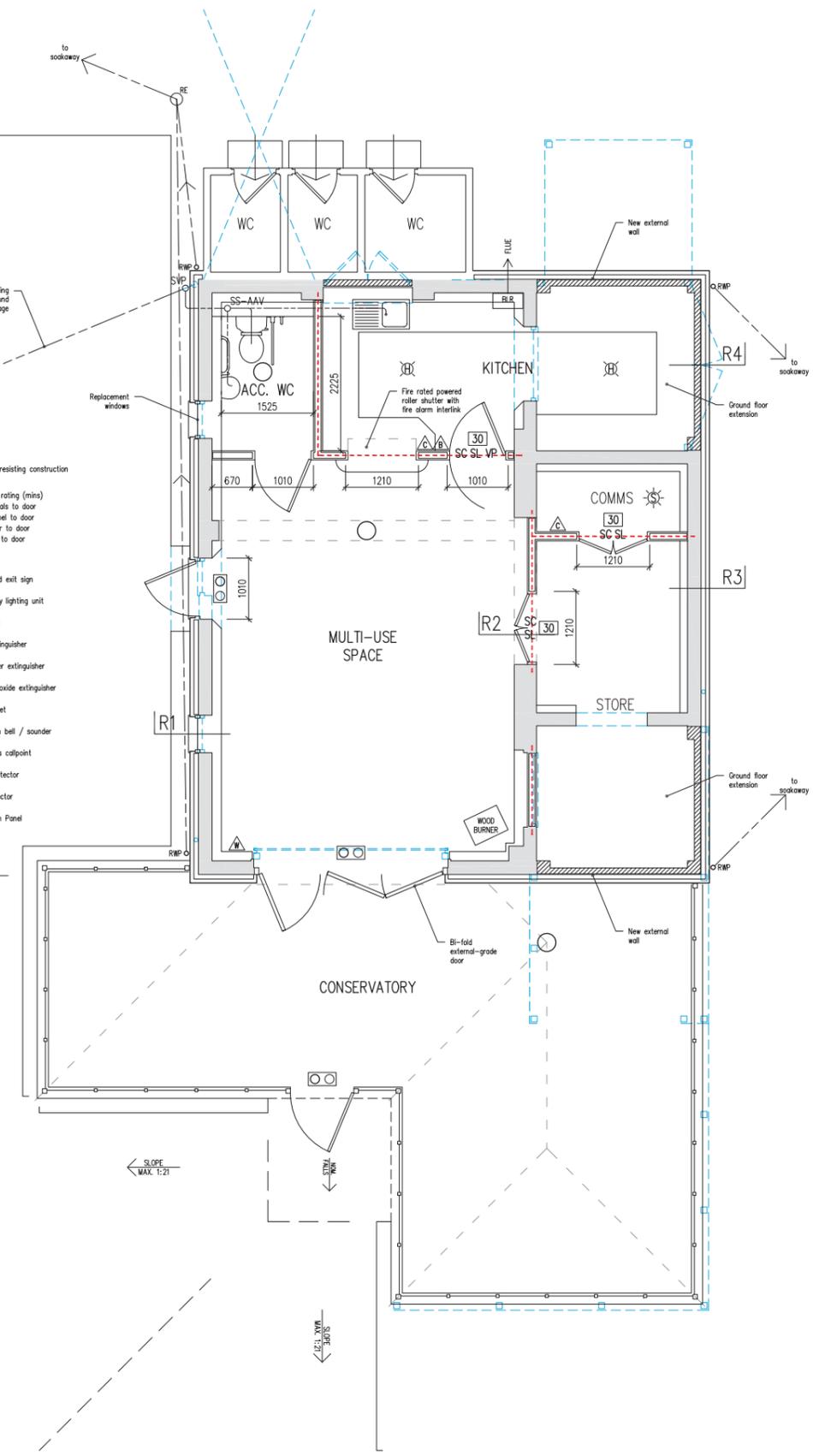
Title
 Sketch West Elevation Extract

Drawing:	16060-K-030		
Date:	24/06/2016	By:	TCM
Scale:	1:50 @ A3	Check:	TCM

T C Matthew
 Chartered Architect
 92 London Road
 Southend-on-Sea
 Essex. SS1 1PG
www.tcmca.co.uk
 Tel: 07505 983394

**T C Matthew
 Chartered
 Architect**

- ### FIRE KEY
- 1/2 hr. fire resisting construction
 - SL - Fire door rating (mins)
 - WP - Smoke seals to door
 - SC - Vision panel to door
 - PB - Push bar to door
 - EL - Illuminated exit sign
 - - Emergency lighting unit
 - HR - Hose Reel
 - W - Water extinguisher
 - D - Dry powder extinguisher
 - C - Carbon dioxide extinguisher
 - B - Fire blanket
 - SA - Fire alarm bell / sounder
 - CP - Breakglass callpoint
 - SD - Smoke detector
 - HT - Heat detector
 - FAP - Fire Alarm Panel



BUILDING REGULATIONS COMPLIANCE NOTES

EXTERNAL WALLS
 All to provide U-value 0.28W/m²K or better.
 Refer to Structural Engineer information for new concrete strip foundations and concrete block walling requirements.
 New AAC block walls to be 100mm thick generally with 215mm thick piers at corners and interface with existing, laid to existing masonry walls with stainless steel wall starters, incorporating new DPC and with bituminous damp proof membrane coating from DPC down to top of new foundation.
 Retained existing external walls to have chemical injection DPC at levels to match new walls DPC.
 External wall insulation above DPC to be 75mm thick PIR (Polystyrene) board mechanically fixed to new & existing walling, and below DPC to be 50mm impact-resistant XPS (extruded polystyrene) board fully bonded to new & existing walling.
 Ventilated rainscreen 'weatherboard' cladding (e.g. Marley Elemil Ltd. 'Cadral Lap') above DPC to have minimum 30mm ventilation gap behind the cladding boards and minimum 10mm continuous gap at the top and bottom of the cladding system for full air circulation.
 Reinforced decorative plinth render (e.g. Marmorite 'UP310') coating from DPC down to top of new & existing foundations, with gravel trap in-fill to grade at building perimeter to aid drainage and drying.

GROUND FLOOR EXTENSION
 All to provide U-value 0.22W/m²K or better.
 Refer to Structural Engineer information for new ground bearing concrete slab requirements.
 New floor to be 75mm sand cement screed with lightweight mesh reinforcement on 1000 gauge polyethylene sheet vapour barrier with sealed joints on 75mm PIR insulation on sand blinding on 1200 gauge polyethylene sheet damp-proof membrane with sealed joints on 100mm concrete slab on minimum 100mm well-consolidated hardcore.
 Damp-proof membrane to be continuous with external wall DPC. Insulation layer to incorporate perimeter edging strips returned upwards at external wall.

PITCHED ROOFS EXCEPT CONSERVATORY
 All to provide U-value 0.18W/m²K or better.
 Refer to Structural Engineer information for new rafter requirements.
 New cold deck pitched roof spanning between new & existing external walls and existing main roof eaves to have 200mm deep timber jack rafters at centres to match main roof structure, roof tiles laid on tongued softwood battens on vapour permeable sarking membrane. 160mm PIR insulation fixed between rafters leaving a void to the underside of the sarking membrane, and underside of rafters lined with painted plaster skimmed plasterboard.
 Existing main roof to have new painted plaster skimmed plasterboard ceiling with 270mm mineral wool loft insulation laid between existing joints, and 75mm PIR perimeter downstand insulation at the top of the inside wall face to prevent cold-bridging. Ensure 50mm air gap at eaves for roof space ventilation (in combination with new window trickle ventilators and existing cupola).

BUILDING REGULATIONS COMPLIANCE NOTES

ACCESSIBILITY
 After building approach for level access as indicated on the drawing.
 New circulation doors to have minimum 775 effective clear width with door leaf colour to provide visual contrast to the surrounding wall.
 'Acc. WC' to be equipped as a wheelchair-accessible toilet in accordance with Diagrams 18 and 19 of Approved Document M 2004 edition incorporating 2004 and 2013 amendments.

REPLACEMENT WINDOWS
 To meet Window Energy Rating (WER) Band C or better, or have U-value 1.6W/m²K or better and Low-E coating, all incorporating trickle ventilators to providing minimum 3,500mm² equivalent area.

BI-FOLD DOOR
 To have U-value 1.8W/m²K or better, and installed with glazing in accordance with BS EN 12600 or BS 6206 with permanent visually contrasting manifestation in accordance with Diagram 7.2 of Approved Document K 2013 edition.

CONSERVATORY
 All work including roof to be undertaken by a specialist designer and installer registered with the Competent Person Scheme.
 To be built off existing external slab edge (subject to structural adequacy), as unheated circulation space outside thermal envelope of the refurbished host building.
 Entrance door to have mid-grey colour metal frame for colour contrast with surrounding frame.

FOUL WATER DRAINAGE
 All fittings to incorporate minimum 75mm anti-siphon traps.
 Single wastes 38mm diameter and combined wastes 50mm diameter, all incorporating rodding eyes at bends.
 Expose and examine existing underground drainage for inspection by the Building Control Officer for confirmation of altered drainage layout. New drains to be in 100mm uPVC pipes laid to falls of at least 1:40 and surrounded in 150mm pea shingle. New inspection chambers to be 450mm diameter uPVC with steel cover and frame and bedded on 150mm concrete.

SURFACE WATER DRAINAGE
 New half-round 100mm uPVC roof gutters discharging to 68mm uPVC downpipes.
 New underground drains to be in 100mm uPVC pipes laid to falls of at least 1:80 and surrounded in 150mm pea shingle.
 New soakaway to be located at least six metres from any permanent structure, be 1000mm diameter and 1000mm deep below entry pipe level, have minimum 450mm topsoil cover, and be lined with geotextile membrane.

BUILDING REGULATIONS COMPLIANCE NOTES

FIRE SAFETY
 Necessary upgrade of retained existing building fabric to be agreed with the Building Control Officer.
 Emergency lighting to BS 5266:2005 PL1
 Smoke detection to BS 5386
 Exit signage to BS 5499:2002 PL1

MECHANICAL VENTILATION
 'Ylches' to be ventilated by cooker hood with minimum extract rate 30 litres per second, or by a fan with minimum extract rate 60 litres per second located elsewhere. 'Acc. WC' to be ventilated by a fan with minimum extract rate 6 litres per second linked to lighting control with 15-minute overrun.

ELECTRICAL SYSTEMS
 All work to be undertaken by an installer registered with the Competent Person Scheme.
 New light fittings to have sockets that can only be used with lamps having an efficacy greater than 40 lumens per circuit-Watt. New power, etc. outlets to be fixed 450mm above finished floor level and 150mm above worktop level. New light switches to be fixed 1200mm above finished floor level.

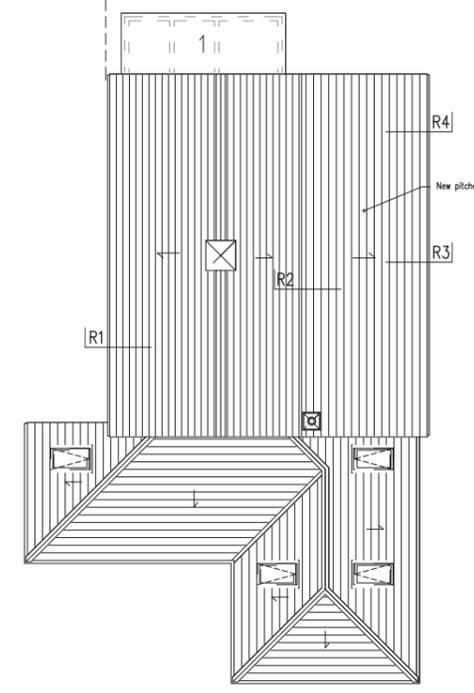
HOT WATER SYSTEM
 All work to be undertaken by an installer registered with the Competent Person Scheme.
 New radiators to be fitted with thermostatic valves. Gas fired boiler to have SEDBUK rating A or B and minimum 85% efficiency, installed in accordance with manufacturer's instructions and agreed with the Building Control Officer. Stand-alone battery operated carbon monoxide detector to BS EN 50291-2001 to be located on a wall surface adjacent to the boiler.

WOOD BURNING STOVE
 All work to be undertaken by an installer registered with the Competent Person Scheme.
 If required, provide a combustion air ventilator for 'Multi-Use Space' through the external wall, sized and located in accordance with the installer's requirements.

INFORMATION TECHNOLOGY INFRASTRUCTURE
 Provide external ductwork and internal access point for high-speed electronic communication networks, with reference to PAS 2016 best practice guidance.

- TOWN PLANNING-APPROVED EXTERNAL MATERIALS**
- THE FOLLOWING EXTERNAL MATERIALS ARE PART OF TOWN PLANNING APPROVAL 16/00838/FUL AS AMENDED:
- Roof: Slate tiles to match other outbuildings
 - Walls: Black weatherboarding
 - Windows: Double glazed with black colour metal frames
 - Conservatory: Black colour metal frames
Facing brick plinth
Slate roof with 'Yelux' roof windows
 - Access door: Black colour painted timber
 - Security shutter: Black colour metal

IMPORTANT NOTE
 Any changes to the above external materials must be submitted to and approved in writing by Rochford District Council before any development can take place.



ROOF PLAN Scale 1:100

The Copyright of this drawing belongs to T C Matthew Chartered Architect and shall not be used or reproduced in any form without its express permission. The moral right of the author is hereby asserted.
 Do not scale from this drawing - Work to figured dimensions only. All dimensions to be checked on site prior to the execution of any work.
 For the avoidance of doubt all dimensions are measured to wall structure and not the finishes unless otherwise stated.
 Where any discrepancy is found to exist within or between drawings and/or documents it should be reported to the architect immediately.
 T C Matthew Chartered Architect shall not be liable for any use of drawings and documents for any purpose other than for which the same were prepared by or on behalf of T C Matthew Chartered Architect.
 Please send corrections and error reports to: enquiries@tcmca.co.uk

Notes

READ IN CONJUNCTION WITH:
 X-010 Existing Plans, Section & Elevations
 B-020 Builders Work Rod Sections & Elevations
 All Structural Engineer (Crucis Designs Ltd.) information

LEGEND
 Grey fill: Existing fabric to remain
 Dashed blue: Demolition extent

1	TM: Updated	29.01.2016
Revision	Author & Description	Date

T C Matthew Chartered Architect
 92 London Road
 Southend-on-Sea
 Essex. SS1 1PG
 www.tcmca.co.uk
 Tel: 07505 983394

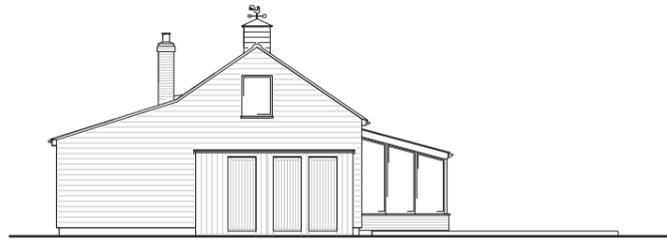
T C Matthew Chartered Architect

Client
HAMELIN TRUST
 19 Radford Crescent
 Billericay
 Essex CM12 0DU

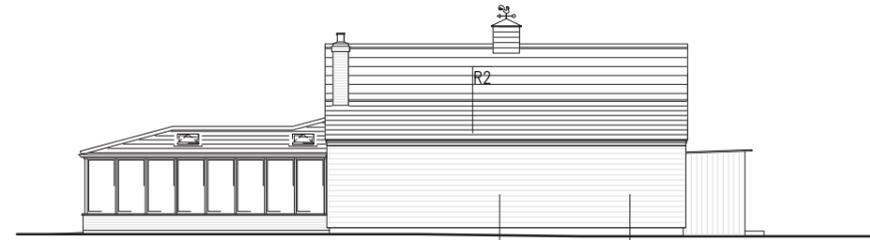
Project
Alteration & Extension
 Sutton Bridge Farm
 Sutton Road
 Rochford
 Essex SS4 1XS

Title
BUILDERS WORK
 Plans

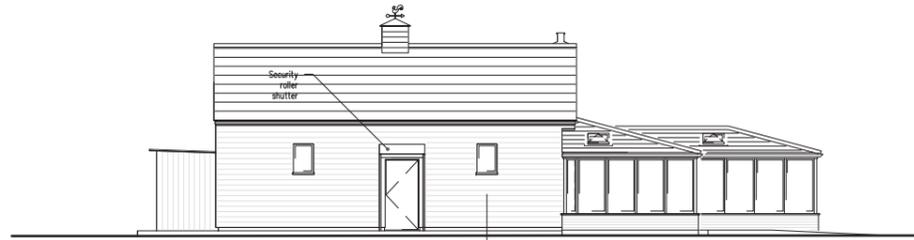
Drawing:	16060_B_010 Rev.1
Date:	15/11/2016
Scale:	1:50 @ A1



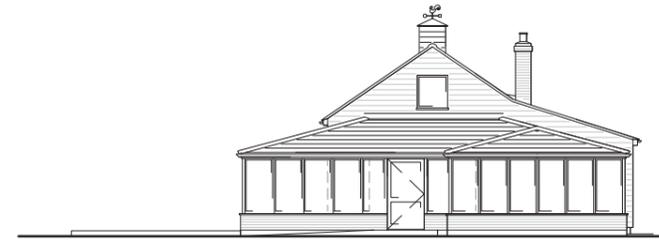
PROPOSED NORTH ELEVATION
SCALE 1:100



PROPOSED EAST ELEVATION
SCALE 1:100



PROPOSED WEST ELEVATION
SCALE 1:100



PROPOSED SOUTH ELEVATION
SCALE 1:100

TOWN PLANNING-APPROVED EXTERNAL MATERIALS

THE FOLLOWING EXTERNAL MATERIALS ARE PART OF TOWN PLANNING APPROVAL 16/00838/FL AS AMENDED:

- Roof: Slate tiles to match other outbuildings
- Walls: Black weatherboarding
- Windows: Double glazed with black colour metal frames
- Conservatory: Black colour metal frames
- Facing brick plinth: Slate roof with 'Yelux' roof windows
- Access door: Black colour painted timber
- Security shutter: Black colour metal

IMPORTANT NOTE

Any changes to the above external materials must be submitted to and approved in writing by Rochford District Council before any development can take place.

The Copyright of this drawing belongs to T C Matthew Chartered Architect and shall not be used or reproduced in any form without its express permission. The moral right of the author is hereby asserted.

Do not scale from this drawing - Work to figured dimensions only. All dimensions to be checked on site prior to the execution of any work.

For the avoidance of doubt all dimensions are measured to wall structure and not the finishes unless otherwise stated.

Where any discrepancy is found to exist within or between drawings and/or documents it should be reported to the architect immediately.

T C Matthew Chartered Architect shall not be liable for any use of drawings and documents for any purpose other than for which the same were prepared by or on behalf of T C Matthew Chartered Architect.

Please send corrections and error reports to: enquiries@tcmca.co.uk

Notes

READ IN CONJUNCTION WITH:
X-010 Existing Plans, Section & Elevations
B-010 Builders Work Rod Plans

All Structural Engineer (Crucis Designs Ltd.) information

LEGEND

Grey fill: Existing fabric to remain
Dashed blue: Demolition extent

1	TM: Updated	29.01.2016
Revision	Author & Description	Date

T C Matthew Chartered Architect
92 London Road
Southend-on-Sea
Essex. SS1 1PG
www.tcmca.co.uk
Tel: 07505 983394

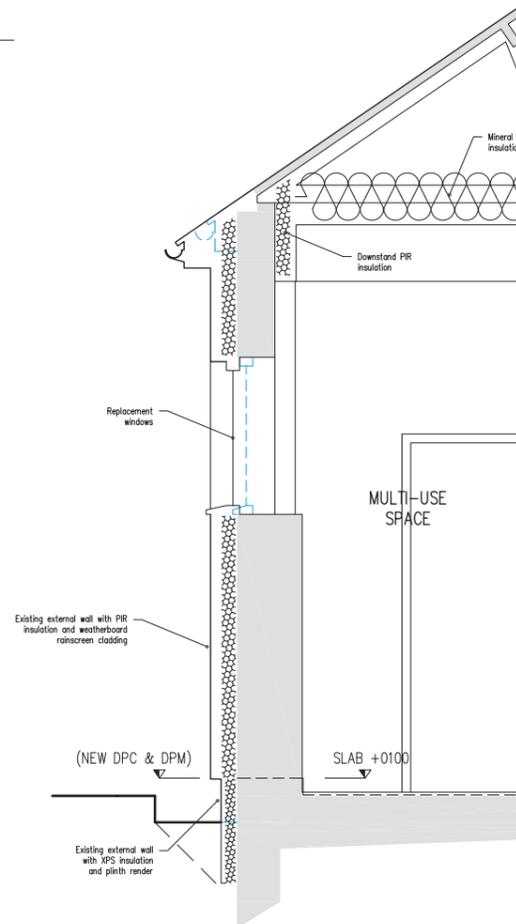
T C Matthew Chartered Architect

Client
HAMELIN TRUST
19 Radford Crescent
Billericay
Essex CM12 0DU

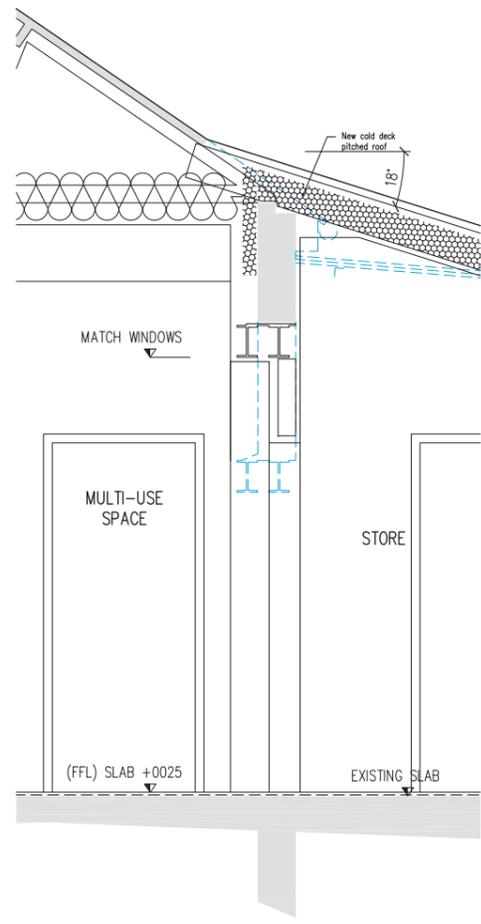
Project
Alteration & Extension
Sutton Bridge Farm
Sutton Road
Rochford
Essex SS4 1XS

Title
BUILDERS WORK
Rod Sections
& Elevations

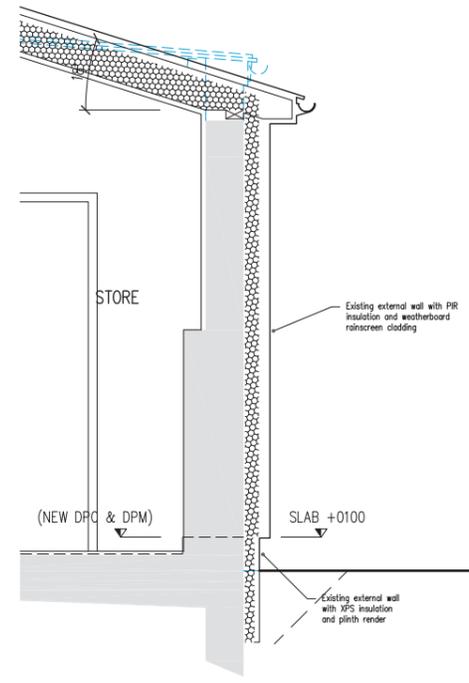
Drawing:	16060_B_020 Rev.1		
Date:	15/11/2016	By:	TM
Scale:	1:20 @ A1	Check:	TM



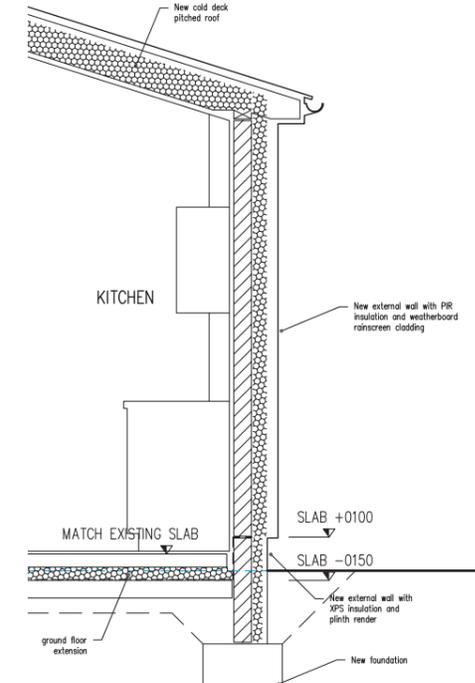
SECTION R1



SECTION R2



SECTION R3



SECTION R4





Hamelin Trust

Supporting Individuals with Disabilities and their carers

Mrs C Lyons Bsc(Hons) DipTP MRTPI
Assistant Director
Planning Services
Rochford District Council
Council Offices
South Street
Rochford
Essex
SS4 1BW

Central Office
19 Radford Crescent
Billericay
Essex
CM12 0DU

Tel. 01277 653889

Email: enquiries@hamelintrust.org.uk
Web: www.hamelintrust.org.uk

Officer support for the suggested changes to the building contained in the planning advice would only go so far in making this space and the Horticulture Project for disabled/disadvantaged people, truly accessible to all.

I therefore request the use of your and Rochford District Council's discretionary powers to support our attempts to make the Sutton Bridge Farm site a safe, fully accessible environment.

This extension and conservatory complement developments to date (including the respite care home and the Hydrotherapy Pool) by providing additional multi-purpose facilities.

Please refer again to the attached proposed multi-purpose use of the extension submitted at the pre-planning stage.

I would welcome any questions and/or site visits by Officers or Council Members to discuss our proposals further if you feel it may help in the decision making process.

Yours sincerely

S. Fisher

Steve Fisher
Chief Executive
Hamelin Trust

26th August 2016

Dear Mrs Lyons

Re: Planning Application at Sutton Bridge Farm, Sutton Road, Rochford, Essex SS4 1XS

Further to our pre-application enquiry and the advice received Ref. No. 15/00057/PREAPP, please find enclosed our full application for planning permission.

We appreciate the 'support in principle' from Officers in our attempt to improve the facilities and have tried to incorporate their recommendations in our application.

We recognise that the utilisation of the existing concrete pad as a base to provide a conservatory could be seen as a disproportionate addition to the building.

However, given the needs of our service users who have profound and multiple disabilities and the purposes that the whole building is being developed for, we believe that they should be considered appropriate exceptional circumstances for development within green belt land.

We are trying to establish more fully accessible space to offer an extension to the existing training and supported employment opportunities linked to horticultural use, and to offer a venue for activities and Carer Support Groups in Rochford and surrounding areas.

Many of our beneficiaries are very vulnerable people who require greater protection from the elements and who use wheelchairs that are much larger than conventional wheelchairs. They have significant extensions to foot rests/guards, head rests, and wide moulded to the individual seating to provide appropriate support. The 'turning circles' of such larger wheelchairs are much greater than for conventional wheelchairs.

Patrons: Peter Egan & The Lord Petre L.L.